

New Official Plan Draft 2020-35

Points for Discussion and Recommendations

Key additional/changes

Section 1

- * **Recommendation for Renaming of the Community in the North or the Municipality**
- * **Recommendation for the change of Profiling the North Community as Residential and the South as Employment**
- * **Recommendation for an explanation as to how the 2018 OMB Decision and how they are implementing it**

[35] The Board agrees with Mr. Storey that neither the Town nor Del Duca had appropriate regard for Policy 1.1.1(c) with respect to the proposed development. The Board questioned Mr. Zaghi as to his interpretation of “healthy, livable and safe communities” within the context of this and other policies using this language within the PPS. Mr. Zaghi’s interpretation was contextual and takes into account the Town in its entirety, finding that in offering proper services, protecting natural heritage features, providing opportunities for shopping, living, working, and attending school, the Town satisfies the intent of this policy. **Mr. Hillman agreed that the interpretation of this policy should be for the Town as a whole. The Board cannot agree, in light of its earlier finding that the use of ‘community’ in the PPS is not synonymous with ‘municipality’, and that the community to be considered in this case is Oldcastle Hamlet, as**

conceded by counsel for Del Duca and the Town.

...compact, mixed-use development that incorporates compatible employment uses **to support livable and resilient communities.** While the Board appreciates that the Town is working toward this objective on a Town-wide basis, **it is troubling that the Town has not considered this objective in the context of the Oldcastle Hamlet community. (2018 OMB Decision)**

Section 2

- * **Recommendation for Maintaining a ten year residential supply in Oldcastle**
- * **Recommendation for Protecting and promoting town centres and main streets by leaving the municipal owned lands designated as Institutional I for the purpose of creating an Oldcastle Community Hub and developing a sense of place and identity for the people in the Southern part of the Municipality.**
- * **Recommendation for an Oldcastle Community Hub built on these lands - meeting rooms, Town Satellite Office, library, walking track, and gymnasium etc., Note: grant money for seniors programs utilized mostly in the North end.**

Section 3

***Discussion** Land use compatibility and human made hazard – example a cannabis Greenhouse in Oldcastle

Section 4

4.1 * greenhouse operations subject to a ZBA and meeting specified criteria

*** Recommendation** – time line for implementing a by-law
(Town of Kingsville Nuisance By-law as a possible model)

4.5 restrict offices, restaurants and other commercial type uses to Walker Rd. & North Talbot

***Discussion** – *Very problematic.*

***Discussion** *Policies applying to Expansion lands?*

4.7* **Recommendation** Promote an Oldcastle Community Hub built on Municipal owned lands - meeting rooms, Town Satellite Office, library, walking track, and gymnasium etc.,

Note: grant money for seniors programs utilized in the North end only due to no facilities in the South of the municipality to accommodate.

4.10 ***Discussion** *the Town will initiate the Oldcastle Special Planning Study- what does the Time line look like?*

Section 9

***Discussion** *Introduce policies related to complete streets, active transportation and public transit*

***Recommendation** – *Enter into discussion with the MTO for a safe pedestrian and multi use crossing at Highway 3 and the Oldcastle Road, in Oldcastle. The Walker Rd. & Hwy 3 intersection is not a safe crossing even with a light. It is one of the busiest intersections in the county with a high rate of accidents and fatalities.*

Section 10

**Discussion Site Plan Control policies –all green houses or those used for cultivating cannabis?*

Municipal Profiles

Section 1 Purpose and Basics of the Plan

1.4 v) direct all future **non-agriculture** development to locate within designated urban areas.

**Recommendation to direct future intensive agriculture developments, such as the growing and cultivating of cannabis, mushroom farms to locate in the agriculture zone outside and a separation distance of the urban boundary.*

x) Encourage the provision of a broad range of housing forms

**Recommendation for the Town of Tecumseh to actively promote residential development in the community of Oldcastle as they have done in the other two communities of the municipality.*

1.5.2

i) Tecumseh North Settlement Area;

The greater % of Tecumseh North is residential with a much smaller % for employment lands.

Tecumseh Hamlet Secondary Plan- continues the pattern of the greater % of land being for residential use. It may be the most densely populated area of the Town but I challenge the statement it is the most diversified when in proportion it lacks a substantial industrial component.

**Recommendation to designate a greater % of land in the North Settlement Area for employment purposes to create a more balanced sustainable community and take pressure off the Oldcastle Settlement Area to provide all the employment lands.*

ii) Oldcastle Hamlet Settlement Area

The greater % of Oldcastle Land use is employment lands. The expansion to Oldcastle of 57 hectares for employment lands was based on arguments including those that site the loss of industry to Windsor annexation and the construction of the Herb Grey. Noting that

Oldcastle has contributed more than their share of employment lands to the Municipality, (as stated in the OMB ruling of 2018),

** **Recommendation for a clearer commitment to new housing development in the Municipal profile and to include community amenities in Oldcastle such as park, churches, convenient stores and multiple use bike path. This would indicate the Oldcastle Settlement as a desirable place for people and their families to live, encouraging new housing developments in Oldcastle.***

Several times, this report makes reference to the county's Official Plan under review.

****Recommendation to submit to the county, an amended profile of Oldcastle as well as having it reflect the OMB decision of 2018.***

1.5.3 ii) The population forecast of approximately 8,600 people by 2045 during this planning period for the Town was projected.

****Recommendation to include in the estimation, the possible migration of people toward the proposed new mega hospital and choosing Oldcastle as a preferred settlement to live.***

There will be a future demand for 4,377 housing units.

****Recommendation to include the % of this housing need that will be met in Oldcastle.***

1.5.4 Over the last three decades the town has been able to attract and maintain a healthy and diverse industrial sector.

****Recommendation to disclose % of the Town's industrial sector is in Oldcastle and therefore what % of the Town's Tax base is coming from Oldcastle.***

The Oldcastle expansion of 57 hectare is intended to meet the employment needs for the Town of Tecumseh over the 25 year planning horizon.

** **Recommendation for lands in the North Settlement Area to contribute more employment land uses rather than relying on Oldcastle as the main supplier of land designated for this purpose. We agree with the OMB finding that Oldcastle has already provided more than it's' share of employment lands.***

1.5.5*Based on the Town's residential and non-residential growth forecasts, the Town has an adequate supply of land for future urban growth.

** **Recommendation for sufficient land in Oldcastle is designated specifically for future residential growth.***

** **Recommendation that** while agreeing with the preservation of prime agricultural land, it would be advisable to acquire the North Half of lot 302 North of Talbot Road either through a land swap or boundary expansion request at this time.*

Section 2 Community Structure and Growth Management

2.1 Points and Clusters which include:

** **Recommendation to include***

** Weston Park/ Oldcastle Heritage Park*

** Tim Horton's*

** Emmanuel Baptist Church, Living Waters Assembly*

** Corner Commercial Nodes*

Lines which include

** Centennial Hub Trail*

** **Recommendation** 2.2 another main driver will be the Mega Hospital should be considered.*

** **Recommendation** for residential land use in the Oldcastle Hamlet refer to the **Recommended Oldcastle Land Use Map.***

2.3 vi) To promote and protect town centres and main streets as focal point

** **Recommendation to** create a focal civil point on the land owned by the Municipality on Hwy.3.*

Section 3 General Development Policies

3.2v) Site Suitability -adequate measures will be taken to alleviate or prevent and adverse effects that the proposed use may possibly have upon any existing or proposed adjacent use.

** **Recommendation to** make these measures more enforceable maybe through by-law, since it does not appear they had any power in alleviating or preventing the new development in Oldcastle of a Greenhouse for cultivating cannabis.*

3.3 * **Recommendation for a minimum distance separation for cannabis growing facilities.**

3.14.1 The Town will mitigate climate change by ii) promoting mixed use development to encourage active transportation.

* **Recommendation to encourage new housing developments to include neighbourhood commercial in their plans of development, where possible, in order to stimulate active transportation in Oldcastle.**

x) Addressing air quality impacts through land use compatibility.

* **Recommendation to address through an impartial report the air quality impact on the settlement of Oldcastle by new first time industries such as the new cannabis greenhouse development.**

3.18 Land Use Compatibility

vii) * **Recommendation that the now existing Cannabis Greenhouse facility like other nonconforming developments be prohibited from further expansion to their operation as was initially presented and with the possibility of future closure the use for cultivating cannabis not permitted.**

Section 4 Land Use Policies

4.1.2 **Agriculture** - v) Require an amendment to the Zoning By-Law and are subject to site plan control

* **Recommendation (v) that a By-law be passed regulating cannabis greenhouse operations be addressed and passed immediately (using Kingsville and other Municipalities as examples).**

4.2.1 **Residential** - * **Recommendation** When looking for adequate supply of residential building lots in the Town, the needs of each community should be considered and not the Town as a whole.

4.2.3 Special Residential Policies i) The Delduca Property c) iii) * Lands associated with the multi-use pathway included as part of the buffer strip.

* **Recommendation that this is not omitted from the site plan in-lieu of cash?**

4.3.1 General Commercial

ii) to ensure that suitable sites are available within the designated urban areas to accommodate a full range of commercial goods and services to meet the needs of the surrounding neighbourhoods, the community at large, and the travelling public.

* **Recommendation for a strip of land within the Oldcastle expansion along County Rd. 46 be designated for Commercial.**

4.3.2 Policies

i) * **Recommendation the number of Gas Stations in Oldcastle should be regulated. Three already exist on Walker Rd. and one on Cty. Rd. 46**

* **Recommendation Previous Special Commercial designations such as agriculture commercial should remain.**

4.4 Main Street Mixed Use

4.4.1 & 4.4.2 Goals & policies Oldcastle has very little lands reserved for General Commercial making it difficult to establish a Main Street. Our main Streets are Walker Rd., Hwy. #3 (Restricted) and North Talbot Rd. Walker Rd. if considered the Main Street does have Mixed Use.

* **Recommendation Rather than discourage and restrict mixed use the lands along Walker Rd. should continue in this pattern allowing for new developments that might serve the general public such as restaurant.**

Much attention is given to the renewal of the main street in Tecumseh Centre while little to none is given to Oldcastle.

* **Recommendation Walker Rd. from Hwy3 could take on more of the Characteristics of a Main Street considering there are existing churches and commercial establishments and fire hall as well as a community hub off of McCord Dr.**

4.5 Business Park

4.5.1 i) to provide suitable areas for a broad range of employment uses that include manufacturing, research and development, warehousing, construction and transportation characteristics and locational requirements: *In 2018 the OMB*

[59] Messrs. Zaghi and Hillman share the opinion that s. 3.2.4(i), subparagraph (i), directs employment uses to be the primary form of development in Oldcastle. **The Board agrees, and it is well-established through all of the planning evidence that this has already been achieved in Oldcastle.** Industrial and business park development is the largest land use category in the hamlet, representing 36% of existing development, with an additional 9% of designated industrial land that is vacant. In fact, the vacant land category may now be significantly larger given the addition of lands to the settlement area through the County OP, which are intended for business park/industrial use, though not yet designated.

Taking into account the board's statement that Oldcastle has provided the municipality with sufficient employment lands a change of perspective may be needed.

** **Recommendation** The County OP concerning employment lands in Oldcastle is amended. Consider designating more land in the Northern portion of the Town of Tecumseh for employment uses.*

4.5.2 iii) the following additional uses are permitted as complementary uses which are intended to serve the industrial areas and the broader community and shall be permitted on properties adjacent to County Road 11 (Walker Road). North Talbot Road, County Road 46.

a) offices; b) restaurants, convenience retail stores, financial institutions c) automobile sales and service establishments, automobile service stations or gas bars:

Question* *What does this means since in section 4 this was restricted on Walker Rd. and North Talbot?*

iv) cannabis operations including the **growing, harvesting**, cleaning, packaging, and shipping of cannabis and any other uses related to cannabis production are also permitted in the Business Park designation but require an amendment to the Zoning By-law and are subject to site plan control. When an application for a by-law amendment to allow a cannabis operation is made, Council shall have due regard to the following:

* **Recommendation** *The growing and cultivating of cannabis (green house) is not a permitted use in the business park. The growing of Cannabis regulated to the agriculture zone outside settlement boundaries and regulated.*

4.7 Community Facility

The Community Facility designation is shown on Schedules "B-1", "B-2" and "B-3" of this Plan.

* **Recommendation** *The municipal owned land in Oldcastle designated for institutional use remains designated as Community Facility.*

iv) to encourage community facilities to be co-located in **community hubs** to promote cost effectiveness and facilitate service integration, access to transit and active transportation;

***Statement** *The Town of Tecumseh inherited this land from the former Township of Sandwich South. In the past citizens have lobbied for community use of this land, (community centre, heritage park). Oldcastle does not have a community hub to integrate a variety of services for the public, (the Town Hall, a former school, was sold) Why take away land, suitably located for future community use badly needed in the Southern Area of The Township?*

4.7.2 Policies

The following policies shall apply to those lands designated Community Facility on the Land Use Schedules of this Plan:

- i) the permitted uses shall include schools, places of worship, **community centres**, cemeteries, private clubs, places of assembly, libraries, and other buildings and facilities used by the Town, the County and other levels of government;
- ii) wherever possible, schools should be considered and used as multi-purpose facilities, and should be available for use by the surrounding neighbourhood and broader community for leisure, recreational, educational, and other community sponsored events and activities;

* **Recommendation to** *reserve this municipal land for a future community hub. To cultivate a community of people in Oldcastle, a community hub is desperately needed to coincide with future residential growth.*

4.8 Recreational

The Recreational designation is shown on Schedules "B-1", and "B-2" of this Plan. The Parks and Recreation Master Plan provides the community with a long range planning document that helps guide investment in the Town's parks, recreation, trails and sports system. The goals and policies of this Section reflect the recommendations of the Town's Parks and Recreation Master Plan.

4.8.1 Goals

The following goals are established for the Recreational area:

ii) to ensure that recreational uses are located in suitable locations so as to maximize their accessibility to area residents and minimize their conflicts with other uses;

** **Recommendation** to provide indoor recreational and civic space to implement programs for all in keeping with the evolving community needs.*

4.8.2 Policies

The following policies shall apply to those lands designated Recreational on the Land Use Schedules of this Plan:

i) **the permitted uses shall include indoor and outdoor, public and private recreational uses** such as parks, playgrounds, golf courses, arenas and clubs. Wherever possible, **recreational uses serving the community at large** should be part of a multiuse, larger, more visible and adaptable facility and/or site;

** **Recommendation** Since North Tecumseh is receiving an addition to their arena, consideration should be given to the fact that South Tecumseh has no indoor facility serving the community and a plan to remedy this should be made.*

v) the Town supports the reuse of abandoned railway rights-of-way for recreational uses, such as walking, cycling and other physical and leisure activities. The permitted uses within these corridor areas shall include public and private recreational uses. Existing major utility corridors as shown on Schedules "B-1" and "B-3" of this Plan should also be considered for these types of recreational uses;

** **Recommendation to** acquire the railway from Oldcastle to Maidstone Hamlet and connect the two parks. The abandoned railway, north of Weston Park, is centrally located and easily connected to other multi use trails.*

vii) The Town may request cash-in-lieu for all or part of any required land dedication

under the *Planning Act* under the following circumstances:

* **Recommendation that** *this be not applicable to the proposed buffer strip along the 8th concession bordering the Delduca Property?*

4.10 FUTURE DEVELOPMENT

* **Recommendation to create a balanced Oldcastle community.**

4.10.1 Goals

The following goals are established for the Future Development area:

- i) to provide suitable locations for additional residential, commercial, employment, recreational and institutional land uses in the Oldcastle and Tecumseh Hamlet settlement areas;
- ii) to ensure future urban land uses take place in an orderly manner, are appropriately integrated into the existing community and that they maintain and strengthen community identify; and
- iii) to ensure future urban land uses develop in an orderly fashion and are serviced with full municipal services.

(Furthermore, the Board finds that this provision of the PPS 1996 emphasizes the necessity to provide sufficient lands for all of the uses which comprise a community. Inherent in this concept is the idea of balance. There is to be a balance in the provision of lands for the various competing uses to ensure that a municipality can provide for all components of a healthy community. **OMB 2018**)

Recommendation **Up until 2018, The Town of Tecumseh's growth plan for Oldcastle was "Industrial Only." There seems to be reluctance by the Town to foster a sufficient residential component to create a balanced community. To date the driving force to create a sustainable community has come from the people. The Town should take the initiative to build the residential community with commitment as they did when acquiring lands for employment purposes.*

In 2014, 6 years ago, the Town requested from the Province, land for employment uses. The Sandwich South area has lost housing to industry, Windsor annexation and the building of the Herb Grey. A request for a boundary expansion for lot 302 North half, North of Hwy.3 for residential use should be made. It has also been suggested the possibility of trading this

agricultural zoned land for residential land that is not being developed in the Hamlet of Maidstone.

i) b) the Town will initiate the “Oldcastle Hamlet Special Planning Study for Future Development Lands” and incorporate its findings and recommendations into this Plan by way of an amendment;

** **Recommendation** This study has now been delayed until 2021. Since the resolution by council for a Special Planning Study for Future Development Lands was issued, an intensive employment agriculture use on these lands has been permitted and a building permit issued. The use of these lands for employment purposes defeats the objective of creating a balanced Oldcastle with a larger residential component. A target date for completion of this Oldcastle Special report should be made.*

ii) it is the policy of this Plan that individual, privately initiated, site specific Official Plan amendments on lands designated Future Development will not be permitted, rather these lands will only be considered for redesignation as part of the Town’s planning studies and associated Town-initiated Official Plan amendments;

** **Recommendation that** the lands on the Oldcastle Road be designated for residential use under this Official Plan.*

Section 7 Urban Design Principles

7.3.2 The following guiding principles should be used to ensure the development of successful communities:

- i) foster attractive communities and a sense of place;**
- ii) create compact, accessible, mixed-use communities;**
- iii) provide a variety of housing types;**
- iv) provide access and visibility to open spaces;**
- v) encourage environmentally sustainable development;**
- vi) foster developments that are context appropriate;**
- vi) create a street network for active transportation and transit;**
- vii) integrate and highlight cultural heritage resources; and**
- viii) encourage spaces, services and facilities that highlight arts and culture in a manner that generates and sustains cultural vitality.**

* **Recommendation that the Town promote these policies in Oldcastle.**

7.3.7 Several roads provide principal entrances to the Town for vehicular traffic including: Tecumseh Road, Old Tecumseh Road, Brighton Road, Riverside Drive, Lesperance Road, Manning Road, County Road 42, County Road 46, County Road 34, Highway 3, County Road 9, County Road 11 and Malden Road. **Each provides an important entry or “gateway” to the Town. Treatment of these roadways is therefore a high priority.**

* **Recommendation that Highway 3 in Oldcastle an important gateway with cemeteries having park like setting creating a pleasing vista an ideal location for n impressive gateway to Oldcastle, Tecumseh and the county.**

7.3.7 Along individual corridors, the Town will develop an appropriate streetscape for the corridor through the implementation of public works, site plan control review, and through the effort of individual owners by providing such features as tree plantings, gardens, boulevards, public and private signage, and where feasible, underground utilities.

7.3.8 The Town will implement urban design policies through one or more of the following mechanisms:

- i) zoning, subdivision and site plan control review, urban design guidelines, a sign bylaw, guidelines for persons with disabilities, or any other relevant guideline adopted by Council;
- ii) the preparation and implementation of community improvement plans and programs, as budget permits;
- iii) the design, construction, and installation of public works or facilities;
- iv) undertaking the preparation of secondary plans or other planning exercises; and
- v) consultation with the private sector with respect to development applications.

* **Recommendation for a community improvement plan be initiated on Walker Rd. North of Highway 3.**

Section 8 Municipal Services

8.2.1 Goal

The provision of safe, reliable and cost effective municipal water and sanitary sewer services is necessary to enable the Town to carry out critical, important and/or desirable functions related to the continued operation, maintenance, safety, security and well-being

Of the Town and its' residents. The objectives of this Plan related to municipal water and sanitary sewer services include:

Impact of a Cannabis Facility on Municipal Services in Oldcastle

Cannabis production facilities are generally significant water users as water is needed for irrigation of the plants, cleaning and disinfecting, processing activities where applicable, as well as domestic use for employees. Within the Hamlet of Oldcastle the area is serviced with a piped in water supply but not a piped in sewage removal sources. The cannabis facility has the potential to impact groundwater water and the water supply of the nearby residential cluster and future new developments. It is appropriate for the Town to consider impacts on groundwater and water supply as part of applications for Zoning By-law amendment and Site Plan Control.

Recommendation for water Impacts

- 1) In the absence of public sewer, it might be appropriate to include the requirement for a Private Servicing Report prepared by a Qualified Professional that includes information relating to septic systems, identifies water supply and potential impacts on the water table. Further, depending on the water supply proposed as Waste Management Report could also be required identifying the waste products produced and how they will be disposed of. The ability to request such a study should be included in Town's Official Plan as part of complete applications for Zoning By-law amendment and Site Plan Control. considered in light of recommended Official Plan policy respecting value-added agricultural uses in Agricultural areas which speak to not hindering surrounding agricultural operations and uses being appropriate to available rural services.*
- 2) Official Plan policies should include the requirement for, maintenance, monitoring and Contingency Plans to ensure that systems remain in good working order, water conservation practices are being adhered to, detect issues early and implement back up plans in the event of failure.*
- 3) It remains troubling that this new development for growing cannabis with high employment numbers was permitted within the Settlement Area without municipal sewage services. This may occur on agriculture lands outside settlement boundaries but not occur on lands reserved for hamlet development.*

Section 9 Transportation

It is the intent of this Plan to develop a multi-modal transportation system that is safe, efficient, economical, convenient and comfortable for all users. The policies of this Section reflect their commendations of the Town's Transportation Master Plan.

Recommendation for Oldcastle Transportation Objectives

- 1) A traffic study and report on the Walker Rd, North Talbot and 8th Concession for the purpose of developing a safe multi-modal transportation system for all users.*
- 2) The alignment of the Oldcastle Road with the 8th Concession or the construction of a roundabout.*

9.2 COMPLETE STREETS

The concept of “complete streets” encapsulates the notion that streets should be designed to safely accommodate the access, mobility and safety needs of motorists, transit users, bicyclists and pedestrians of all ages and abilities in the context of an efficient multi-modal transportation network. The Town is committed to the development of complete streets.

Recommendation for complete streets in Oldcastle

- 1) The construction of a Multi-use trail along the Oldcastle Road from Highway 3 to North Talbot and along North Talbot East to Weston Park to provide efficient movement of pedestrians of all ages and abilities and space for other street elements such as utilities and services, trees, landscaping and green infrastructure.*
- 2) The highest possible safe pedestrian crossing at Highway 3 and the Oldcastle Road. (Note the proposed crossing at the intersection of Highway 3 and Walker Rd. is unsafe considering the number of accidents, high fatalities and high volume of vehicles.*

9.3 Road Classification System

A road classification system is the orderly grouping of roads into systems according to the type of service they provide to the public. When a road system is properly classified, the characteristics of each road are readily understood. Classification assists in establishing the geometric design features for each group of roads, consistent with the short and long term operational needs of that particular group.

Recommendation for Road Classification System in Oldcastle

Both the Oldcastle Road and the North Talbot Road East are classified as Local Roads according to schedule "E-2."

Due to the High volume of traffic at certain times of day changing the classification of these roads might be considered.

- 1) North Talbot Road East classification changed from **local to Commercial Main Street** as is the classification on North Talbot West of the 8th Concession*
- 2) Oldcastle Road from **Local Road to possibly Collector Road.***

Section 10 Implementation And Interpretation

The Town will prepare a new comprehensive Zoning By-law to zone lands in accordance with the policies and designations contained in this Plan.

Recommendation for implementing Zoning By-law

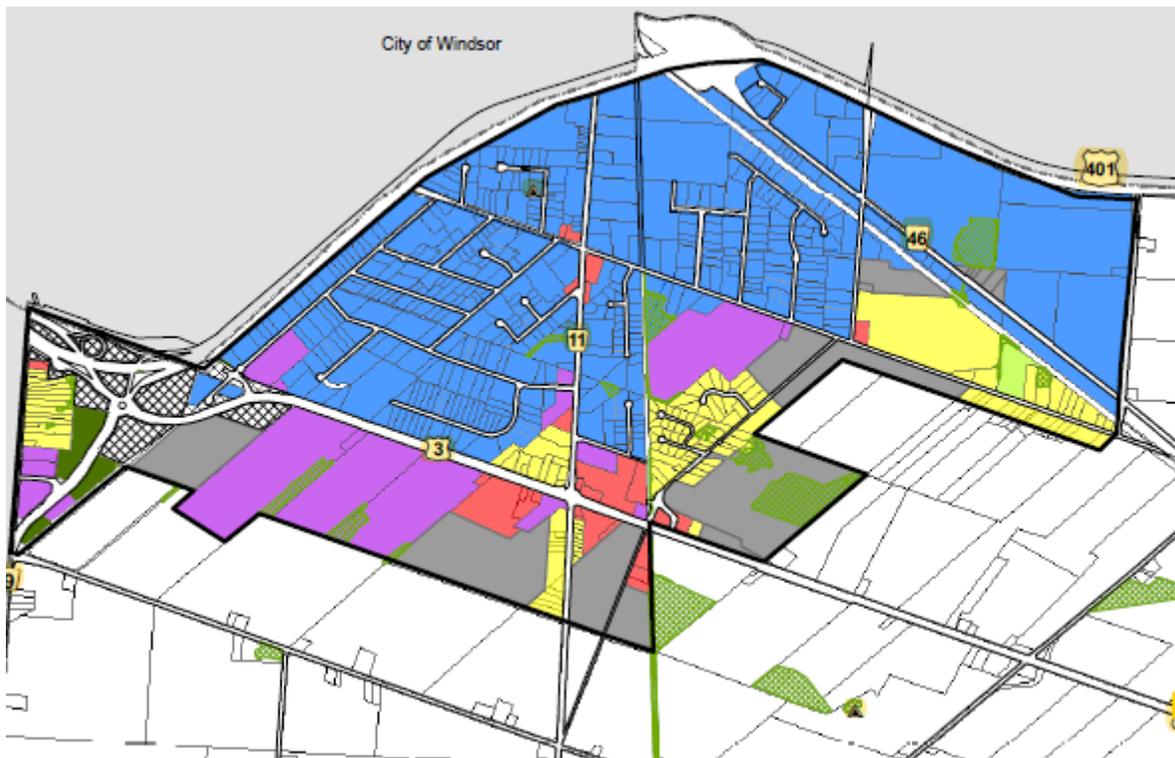
- 1) **10.2** The new comprehensive Zoning By-law be implemented within or before the three years to conform to the new official plan.*
- 2) **10.2** 2020 Zoning by-laws relating to cannabis in the official plan be implemented as soon as possible and no later than the 2021 year end.*
- 3) Amended the Development Charges By-law to require development charges for "cannabis production facilities."*
- 4) **10.6** Council establish a Planning Committee in accordance with provisions of the Planning Act to make decisions on specific planning reports, studies, secondary plans and new development applications*
- 5) **10.8** Community improvement project areas be indentified in the Oldcastle Settlement Area and appropriate strategies for their revitalization detailed by Council through the adoption of **community improvement plans. Example: The Walker Rd. Corridor.***
- 6) **10.8.5 vi)** Address the inadequate community services such as public indoor recreation, public open space, library, Town satellite office, daycare etc.*
- 7) **10.8.6 Within** the Community Improvement Area policies i) xi) need to be applied to the southern settlement areas.*

10.12 EXISTING LAND USES AND BUILDINGS

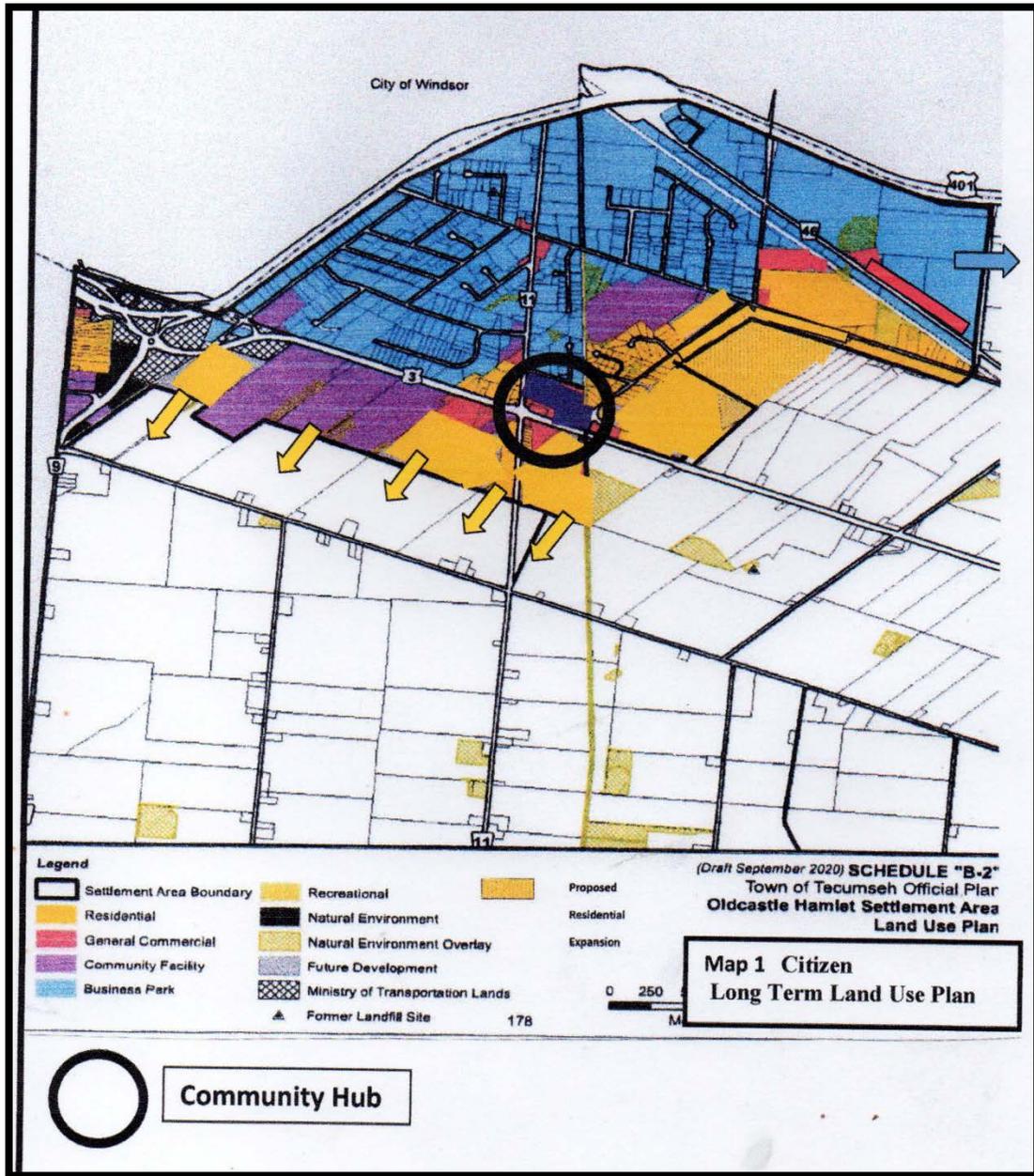
Recommendation for land uses not conforming to the Official Plan

The cannabis Facility granted on Lands for Hamlet Development inside the Settlement boundary did not comply with the Sandwich South Official Plan at the time of construction in 2020.

- 1) Since, the use to be permitted does interfere with the desirable development of neighbouring properties a special zoning by-law be implemented that does not allow expansion of this facility and the zoning amendment for agriculture lands inside settlement boundary be carried forward and applied.
- 2) 10.13 Non-Conforming Uses. The Greenhouse on Highway 3 be left as a non-conforming use in the Zoning By-law.
- 3) 10.23 Municipal Plan Review. The County Official Plan 3.2.4 i) be amended to more accurately describe Oldcastle and to bring it into conformity with the OMB ruling of 2018.



Schedule "B-2"
Town Of Tecumseh Official Plan
Oldcastle Hamlet Settlement Area
Land Use Plan



Recommendation for Land use Plan in Oldcastle

1. The Municipal owned land on Highway 3 and McCord remain as Community Facility designated for a **COMMUNITY HUB**
2. **General Commercial Land Use** along County Rd. 46 including up to Concession 9
3. **the N ½ of lot 302 bordered by the Oldcastle Rd. & North Talbot** become a boundary expansion for residential use
4. Any long term future expansion would see industry expanding North East along 401 and residential southward to South Talbot.